



AN INCOMPLETE APPLICATION WILL NOT BE PLACED ON THE AGENDA UNTIL ALL OF THE REQUIRED ATTACHMENTS AND/OR ITEMS LISTED ON PAGE 2 ARE SUBMITTED.

APPLICANT INFORMATION

Name: Mr. Cary J Gluf
Address: 181 Glendale Ave SE
City: Concord State: NC Zip Code: 28025 Telephone: 980.621.0037

OWNER INFORMATION

Name: Stephen & Dana Rohrer
Address: 113 Union Street North
City: Concord State: NC Zip Code: 28025 Telephone: 252.267.2035

SUBJECT PROPERTY

Street Address: 113 Union Street North P.I.N. # 56207980080000
Area (acres or square feet): 27,318.7 SF Current Zoning: RM-1 Land Use: Residential

**Staff Use
Only:**

Application Received by: _____ Date: _____, 20 _____
Fee: \$20.00 Received by: _____ Date: _____, 20 _____

The application fee is nonrefundable.

General Requirements

The Unified Development Ordinance imposes the following rules, regulations and requirements on requests for Certificates of Appropriateness. The applicant must, with reference to the attached plans, demonstrate how the proposed use satisfies these requirements:

1. Project or Type of Work to be Done: Large, second floor addition on the back of the house. Small, first floor mudroom and connector to garage addition on the back of the house. Covered and uncovered decks off the new mudroom, on the back of the house.
2. Detailed specifications of the project (type of siding, windows, doors, height/style of fence, color, etc.):
 Detailed plans and specifications are included with this application.

Required Attachments/Submittals

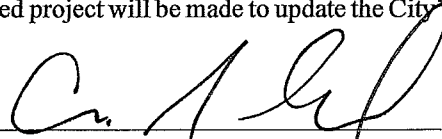
1. Scaled site plan, if additions or accessory structures are proposed, on letter, legal or ledger paper. Larger sized copies will be accepted if **16 folded copies** are submitted for distribution.
2. A photograph of the front of the house.
3. Photographs of site, project, or existing structures from a "before" perspective
4. Drawings, sketches, renderings, elevations, or photographs necessary to present an illustration of the project from an "after" perspective.
5. Samples of windows, doors, brick, siding, etc. must be submitted with application.
6. Detailed list of materials that will be used to complete the project.

Applications may be submitted electronically.

Certification

(1) I hereby acknowledge and say that the information contained herein and herewith is true and that this application shall not be scheduled for official consideration until all of the required contents are submitted in proper form to the City of Concord Development Services Department. (2) I understand that City staff and/or members of the Historic Preservation Commission may make routine visits to the site to insure that work being done is the same as the work that was approved. (3) I understand that photographs of the completed project will be made to update the City's historic districts inventory database.

7.2.2020
 Date


 Signature of Owner/Agent

Project Description:

1. Owners are proposing to demolish most of the existing roof structure on the back of the house which covers the single-story area of the house. The non-contributing, second story Owner's Bathroom will also be demolished. The small, second story gable roof (Sheet A-5, A Top Center) which covers the small second story bathroom will also be demolished.
2. Owners are proposing to demolish the roof structure, posts, and railings for the lower-level back porch along with the existing stairs leading to the Garage. No changes are proposed for the existing garage.
3. Owners are proposing a second-story addition which will cover the existing single-story rear portion of the house – approximately 46' x 23'. The addition will include an expanded Owner's closet which will include one new 24x48 double-hung window with 2 over 2 mullions on the Franklin Street side. The addition will also include a new Owner's bathroom which will include one 36"x16" awning windows facing Franklin and one 24"x16" awning window facing the rear, and a pair of 24"x60" double-hung windows with 2 over 2 mullions, facing the rear. The addition will include a new Laundry room which will include a one 24"x16" awning window facing the rear. The addition will also include a new Bedroom which will include a pair of 24"x60" double-hung windows with 2 over 2 mullions, facing the rear, and three individual 32"x68" double-hung windows with 2 over 2 mullions, facing the Steel residence. These three windows will align with windows on the first floor. There will be a gable incorporated into the new rear elevation which will mimic the size and details of the rear gable that will be demolished.
4. Roof pitches for the larger part of the proposed addition are lowered to prevent the addition from exceeding the height of the existing roof. A portion of the roof will be flat and incorporate a membrane roofing system.
5. The owners are proposing to remodel the exiting first floor laundry room and back porch area by enclosing the entire area to make a new 11'x12' Mudroom entrance with a half-bath. It will include one 24"x48" double hung window with 2 over 2 mullions, facing Franklin Street and a pair of 34x64 double hung windows with 2 over 2 mullions, facing the rear of the house, and one 36"x84" relocated, existing exterior wood door, facing the Steel residence.
6. The owners are proposing to add a 17' x 12' covered deck on the rear of the house which will serve the new Mudroom. It will include stairs which will lead to the existing Garage. Railing will be similar to the demolished stairs. Decking may be either standard pressure treated lumber or Kebony treated wood lumber.
7. Owners intend to match the existing siding, trim, soffit/fascia, and roofing materials of the existing house as closely as possible. The variety of materials on this house is extensive and quite detailed. Some of the most intricate details currently do not exist on the rear of the house and will not be included in the new work. However, the main materials and trim lines will be continued on the proposed new work.

Proposed Windows

MO (mm)	19 3/4 (502)	2-1 3/4 (554)	2-5 3/4 (756)	2-7 3/4 (806)	2-9 3/4 (857)	2-11 3/4 (908)
RO (mm)	1-10 1/4 (565)	2-2 1/4 (567)	2-6 1/4 (768)	2-8 1/4 (819)	2-10 1/4 (870)	3-0 1/4 (921)
FS (mm)	1-8 1/4 (548)	2-1 1/4 (541)	2-5 1/4 (743)	2-7 1/4 (794)	2-9 1/4 (845)	2-11 1/4 (896)
DLO (mm)	14 4/84 (347)	18 4/84 (476)	22 4/84 (577)	24 4/84 (628)	26 4/84 (679)	28 4/84 (730)
	2-7 3/4 (806)					
	2-8 (813)					
	2-7 1/2 (800)					
	10 3/4 (273)					
	UDHG2 1612	UDHG2 2012	UDHG2 2412	UDHG2 2612	UDHG2 2812	UDHG2 3012
	2-11 3/4 (908)					
	3-0 1/4 (921)					
	2-11 1/2 (892)					
	12 3/4 (324)					
	UDHG2 1614	UDHG2 2014	UDHG2 2414	UDHG2 2614	UDHG2 2814	UDHG2 3014
	3-3 3/4 (1010)					
	3-4 (1093)					
	3-3 1/2 (1003)					
	14 3/4 (378)					
	UDHG2 1616	UDHG2 2016	UDHG2 2416	UDHG2 2616	UDHG2 2816	UDHG2 3016
	3-7 3/4 (1111)					
	3-8 (1180)					
	3-7 1/2 (1058)					
	19 3/4 (498)					
	UDHG2 1618	UDHG2 2018	UDHG2 2418	UDHG2 2618	UDHG2 2818	UDHG2 3018
	5-11 3/4 (1213)					
	4-0 (1219)					
	5-11 1/2 (1287)					
	18 3/4 (479)					
	UDHG2 1620	UDHG2 2020	UDHG2 2420	UDHG2 2620	UDHG2 2820	UDHG2 3020
	4-3 3/4 (1114)					
	4-4 (1321)					
	4-3 1/2 (1108)					
	20 3/4 (527)					
	UDHG2 1622	UDHG2 2022	UDHG2 2422	UDHG2 2622	UDHG2 2822	UDHG2 3022
	4-7 3/4 (1246)					
	4-8 (1422)					
	4-7 1/2 (1240)					
	22 3/4 (578)					
	UDHG2 1624	UDHG2 2024	UDHG2 2424	UDHG2 2624	UDHG2 2824	UDHG2 3024
	4-11 3/4 (1136)					
	5-0 (1282)					
	4-11 1/2 (1151)					
	24 3/4 (629)					
	UDHG2 1626	UDHG2 2026	UDHG2 2426	UDHG2 2626	UDHG2 2826	UDHG2 3026
	5-3 3/4 (1319)					
	5-4 (1428)					
	5-3 1/2 (1313)					
	26 3/4 (679)					
	UDHG2 1628	UDHG2 2028	UDHG2 2428	UDHG2 2628	UDHG2 2828	UDHG2 3028 E

MULTIPLE ASSEMBLY CONVERSIONS

ROUGH OPENING		MASONRY OPENING WITHOUT BMC	
Width	Height	Width	Height
Add all frame sizes plus 1" (25)	Add frame sizes plus 1/2" (13)	Add all frame sizes plus 1/2" (13)	Add frame sizes plus 1/4" (6)

Ultimate Double Hung G2: UDHG2

February 2020

Multiple sizes, as described above, will be used. These exterior, alum. clad & wood interior windows will provide a low-maintenance solution while maintaining a similar look to the main house windows. None of the new windows are replacing any original, historically significant windows. The new windows are designed to be compatible with the existing house, and per the Historic handbook, are discernable from the original windows. The 5/8" SDL mullion detail will be used.

Proposed Window Details



INTERIOR

EXTERIOR

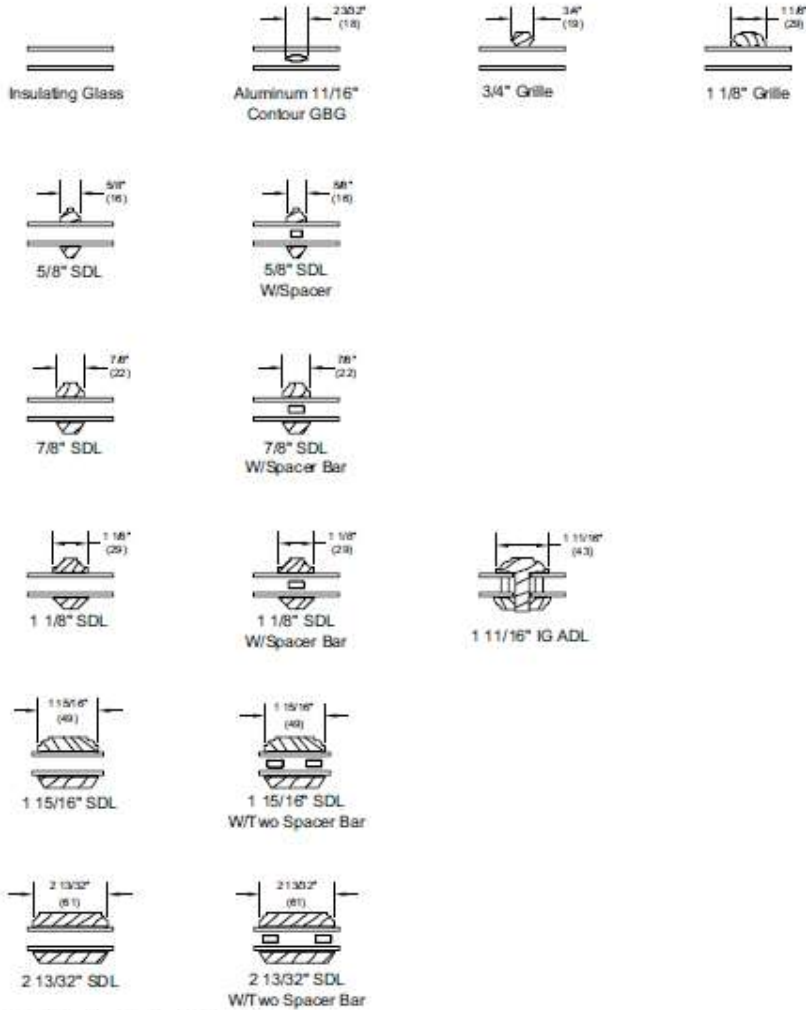
Features of the Ultimate Double Hung G2 Window

- Available in heights up to 10.5 feet or widths up to 5.5 feet
- Marvin's exclusive auto-lock activates when sashes are closed for convenient security
- Unique wash mode allows cleaning of both sides of glass from indoors
- Narrow checkrail maximizes view, while maintaining historical accuracy
- Retractable screen option is nearly invisible when the screen is not in use
- Available with the same features in a single hung style, with optional Lift Lock
- Additional configurations include round top, stationary transom or picture window
- Hidden Lock Status Sensor option connects with your smart home to indicate when windows are closed and locked
- Available with IZ3 coastal/hurricane certification
- Available with Commercial Windows Performance certification
- CE certified

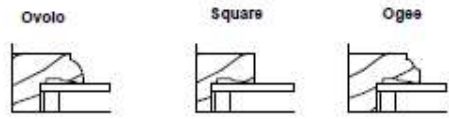
Wood Ultimate Casement Collection



Insulating Glass Lite Options



NOTE: ADL is not available with CE mark



Metal Roofing for Covered Back Deck – Color: Black

JET METALS
ROOF & WALL SYSTEMS

HOME OWNERS | CONTRACTORS | ARCHITECTS & DESIGNERS | CONTACT US | TOLL FREE: 1.866.696.1475

VIEW BY COLOR | ROOF COLOR VISUALIZER | VIEW PRODUCTS

JET LOK

PRODUCT DESCRIPTION

Our JET-LOK profile offers unlimited design potential with its sleek, crisp appearance and attractive shadow lines. Eliminating the need for metal roof clips, the concealed 1" self-locking Snap Lock system creates a powerfully protective seal. Versatile and refined, this easy-to-install metal roof delivers superior beauty, durability and strength while showcasing architectural details.

Categories: All Roof and Wall Systems, Concealed Fastener Roof and Wall Panel Systems

PANEL OVERVIEW | INSTALLATION | WARRANTY | APPLICATIONS

Downloadable Documents

- JET-LOK Panel System
- Jet Panel Rib Options

New rear Covered Deck. Color to be determined.



The Only 4-in-1 Wood Decking Profile

The Kebony Deck Board is the most versatile wood decking profile on the market. We've engineered a profile that can be fastened in four different ways, making it easy to secure your surface decking according to your needs without added milling or lead time. Whether you want to fasten through the face of the board, plug, use hidden fasteners or the patented Step-Clip™ for Kebony system, the Kebony Deck Board is ready to go.

- 30-year, non-prorated warranty against rot
- 50-75 year expected life span as decking
- No maintenance required
- Evenly fades to silver-gray patina when left unfinished
- End-seal wax not needed or recommended

Owner will use this product or standard pressure treated wood. This is a natural wood material which just uses a different treatment process than the typical “green” wood.

Stephen & Dana Roher Project
113 Union Street North

Existing Photos

Existing House: View from Corner of Union & Franklin



Existing House: View from Franklin



Stephen & Dana Roher Project
113 Union Street North

Existing House: View from Rear



Existing House: View from Steel Side



Stephen & Dana Roher Project
113 Union Street North

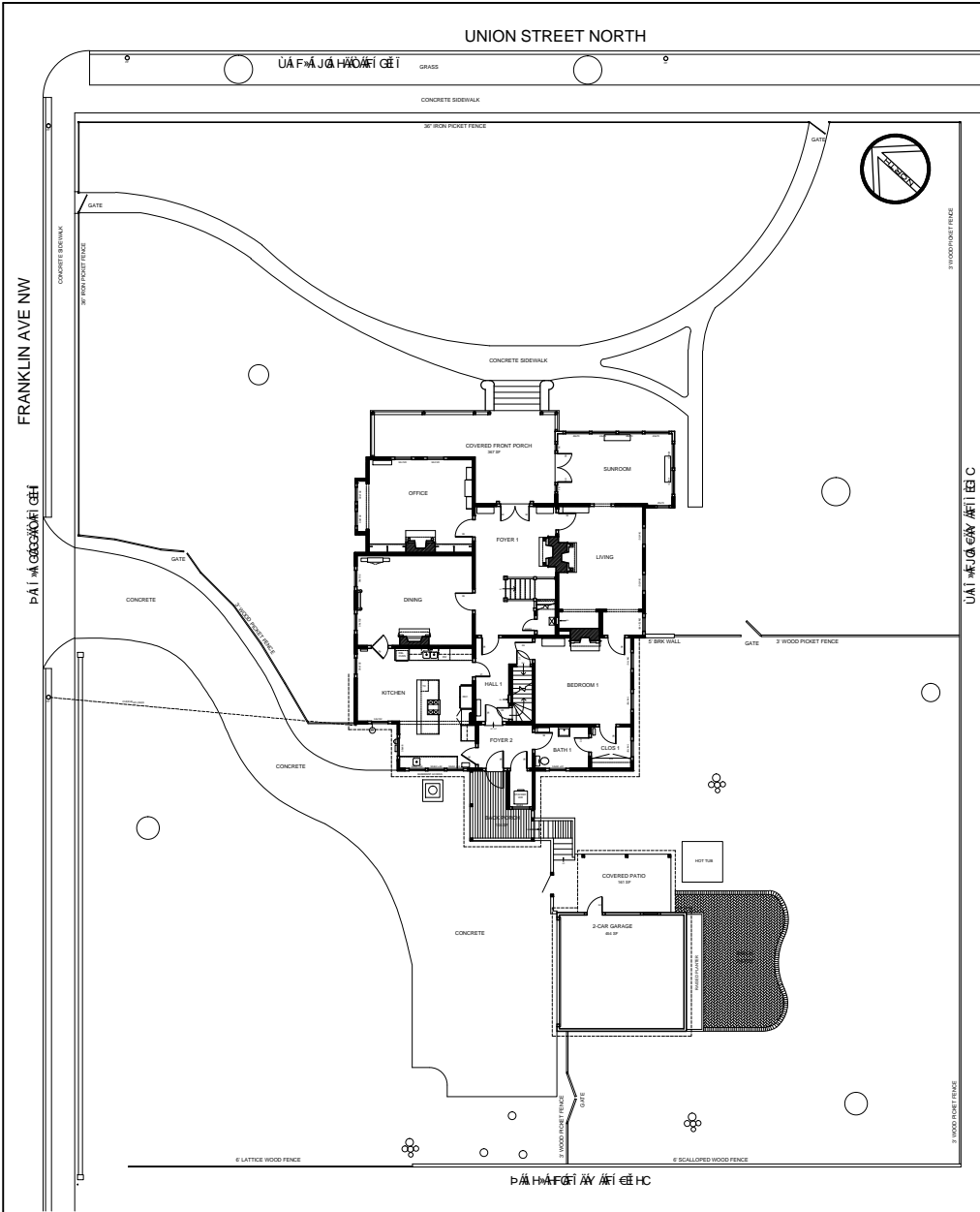
Existing House: View from Steel Side. Primary area of Addition



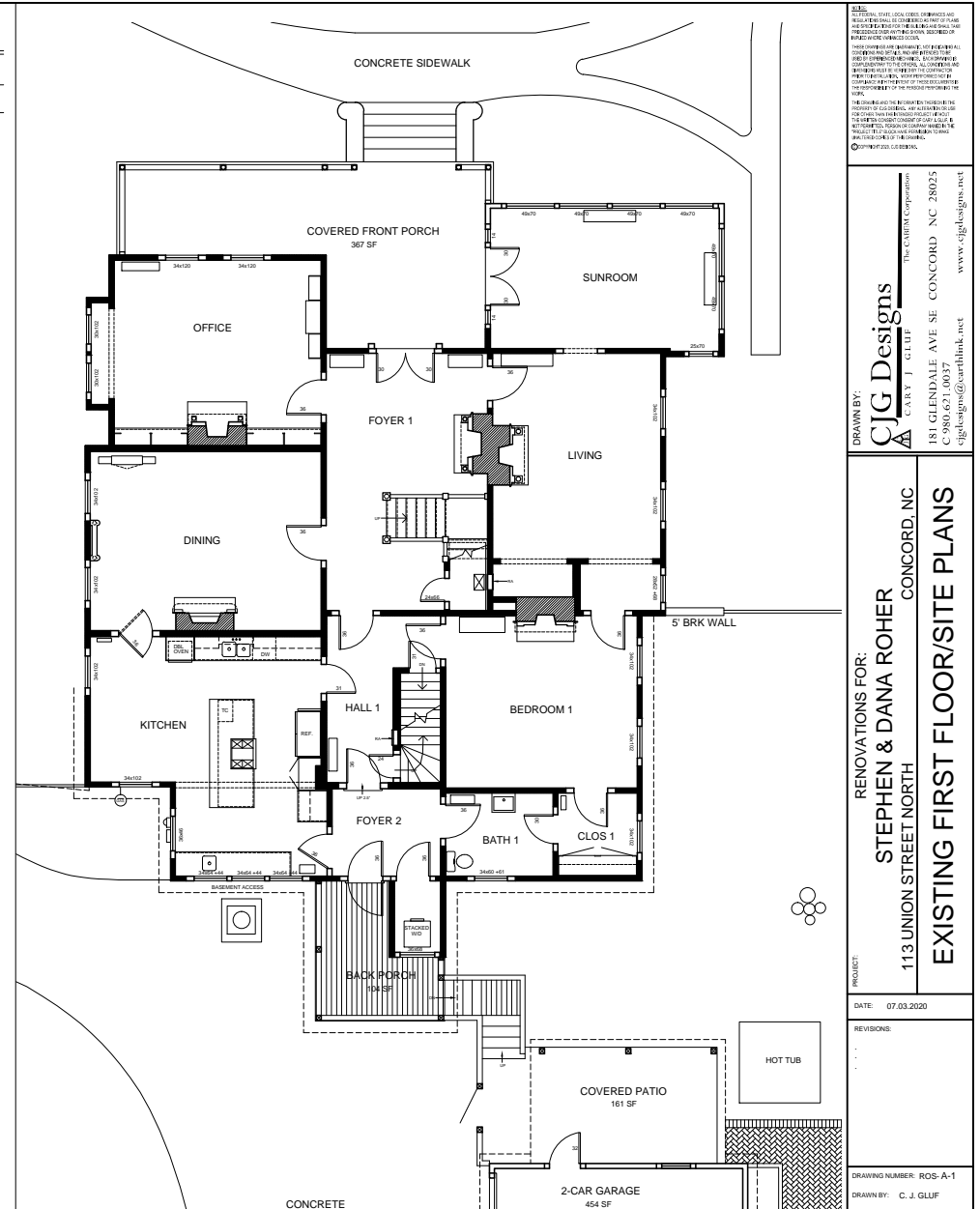
Other materials:

New addition siding and trim will be clear wood, to match the profile, exposure and details of the existing house.

New roofing shall be asphalt shingles to match the existing house in color and detail.



1
A-1 EXISTING SITE PLAN
1/32" = 1'-0"



2
A-1 EXISTING FIRST FLOOR PLAN
1/16" = 1'-0"

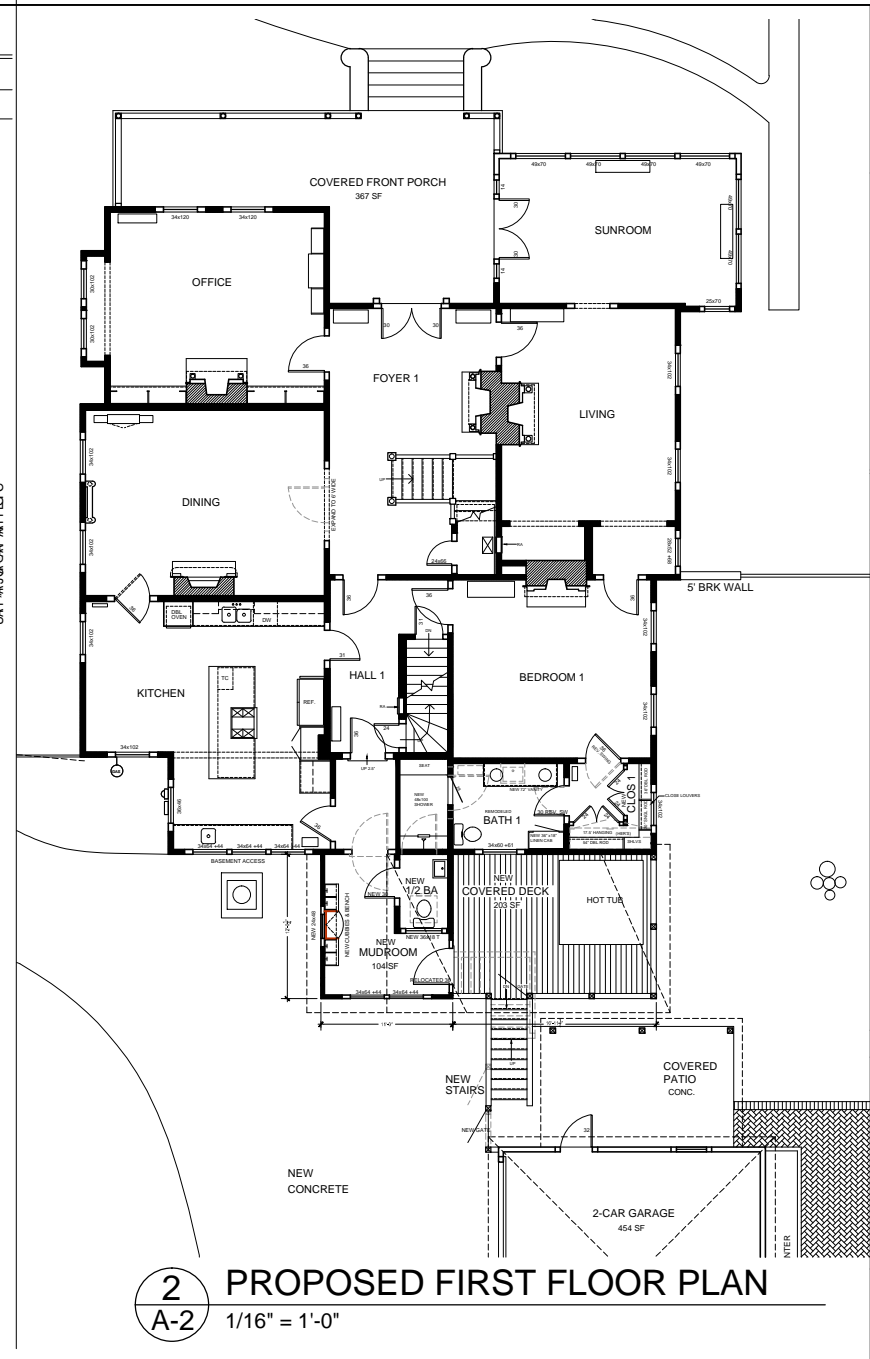
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RENOVATIONS FOR:
STEPHEN & DANA ROHER
 CONCORD, NC
 113 UNION STREET NORTH
EXISTING FIRST FLOOR/SITE PLANS

PROJECT:
 DATE: 07.03.2020
 REVISIONS:
 DRAWING NUMBER: R05-A-1
 DRAWN BY: C. J. GLUFF
 CHECKED BY: CJG

A-1
 DETAIL



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PROJECT: RENOVATIONS FOR: **STEPHEN & DANA ROHER**
113 UNION STREET NORTH
CONCORD, NC

DATE: 07.03.2020

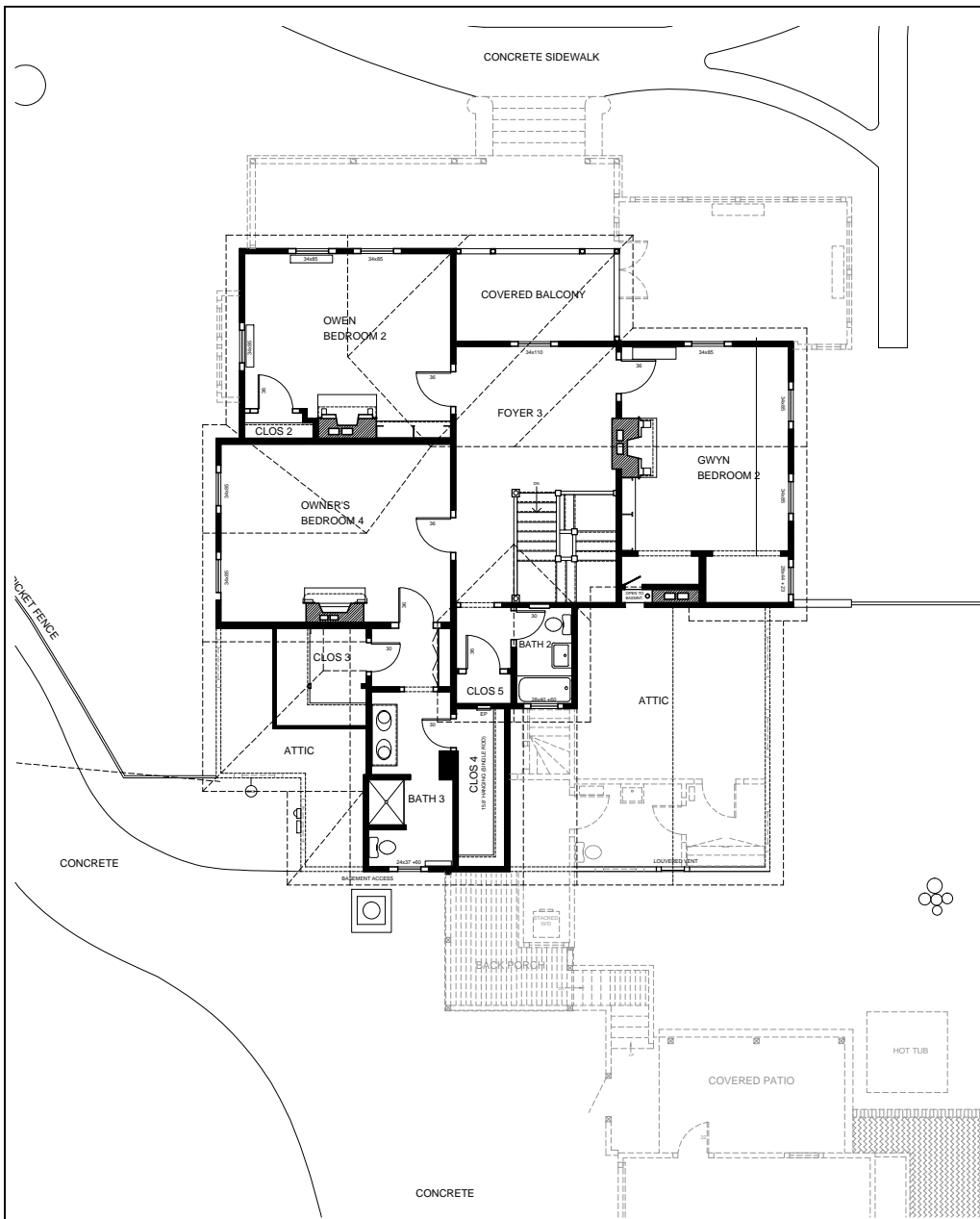
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DRAWN BY: C. J. GLUF
CHECKED BY: C.J.G.

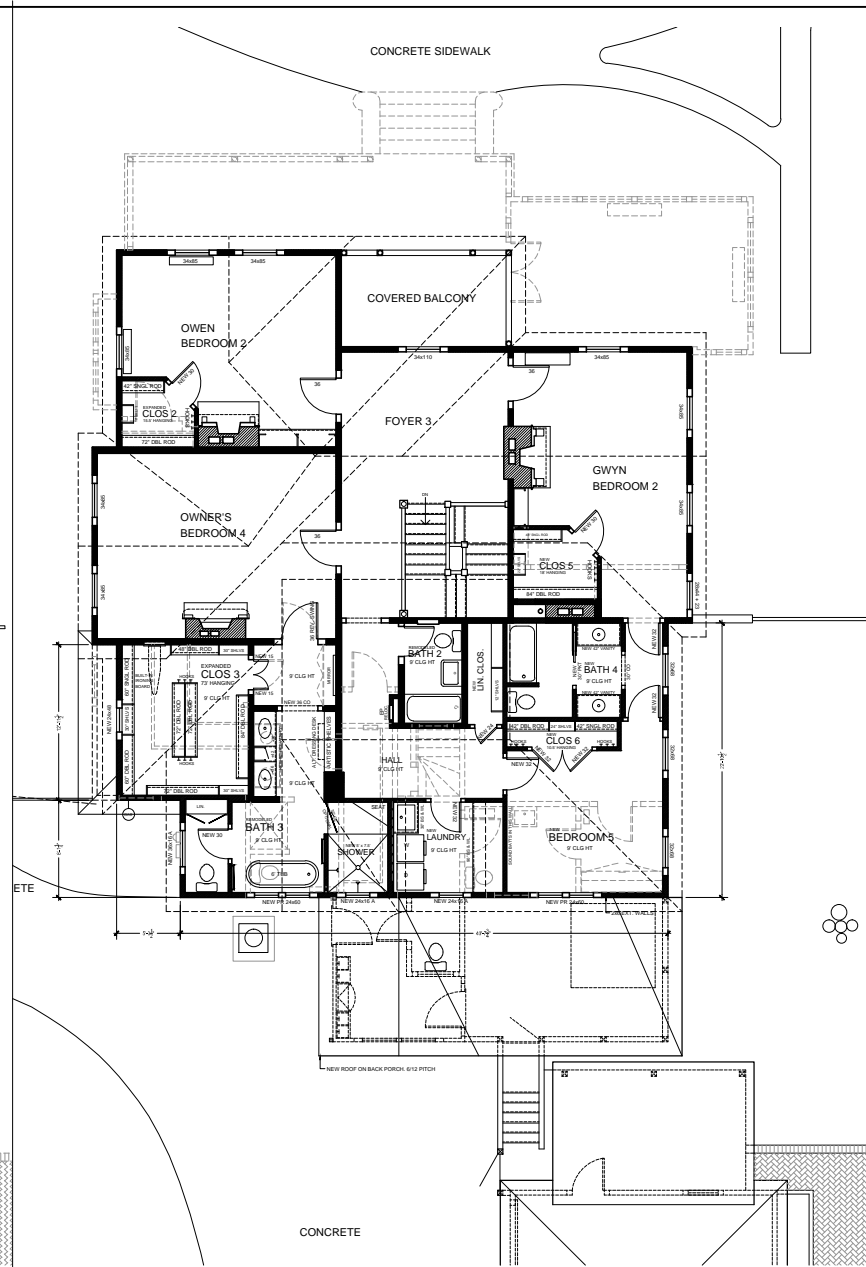
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CJG Designs
CARY J. GLUF

A-2
DETAIL



1 EXISTING SECOND FLOOR PLAN
A-3 1/16" = 1'-0"



2 PROPOSED SECOND FLOOR PLAN
A-3 1/16" = 1'-0"

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RENOVATIONS FOR:
STEPHEN & DANA ROHER
 113 UNION STREET NORTH
 CONCORD, NC

PROJECT:
SECOND FLOOR PLANS

DATE: 07.03.2020

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CHECKED BY: C.J.G.

A-3
 DETAIL

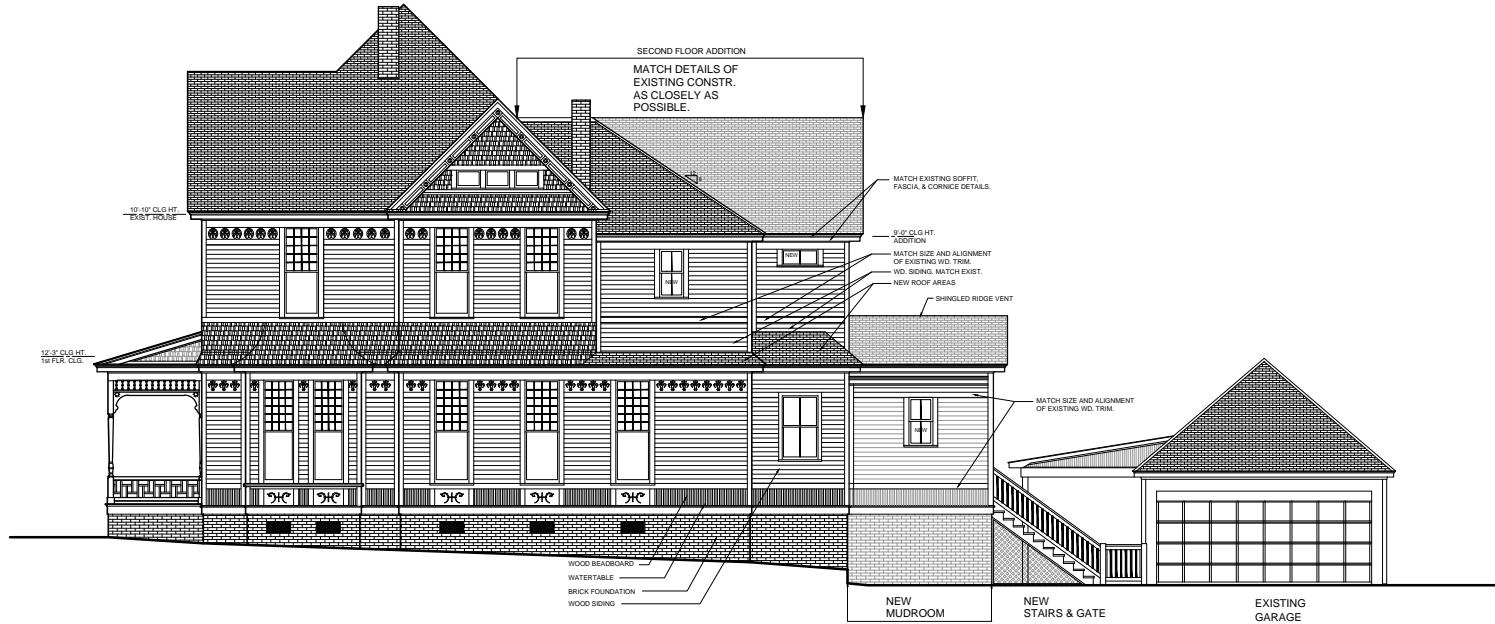


A



B

2 EXISTING FRANKLIN STREET ELEVATIONS
A-4 NO SCALE



1 PROPOSED FRANKLIN STREET ELEVATION
A-4 1/16" = 1'-0"

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RENOVATIONS FOR:
STEPHEN & DANA ROHER
CONCORD, NC
113 UNION STREET NORTH
FRANKLIN STREET ELEVATIONS

PROJECT:
DATE: 07.03.2020
REVISIONS:
DRAWING NUMBER: ROS- A-4
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CHECKED BY: CJG

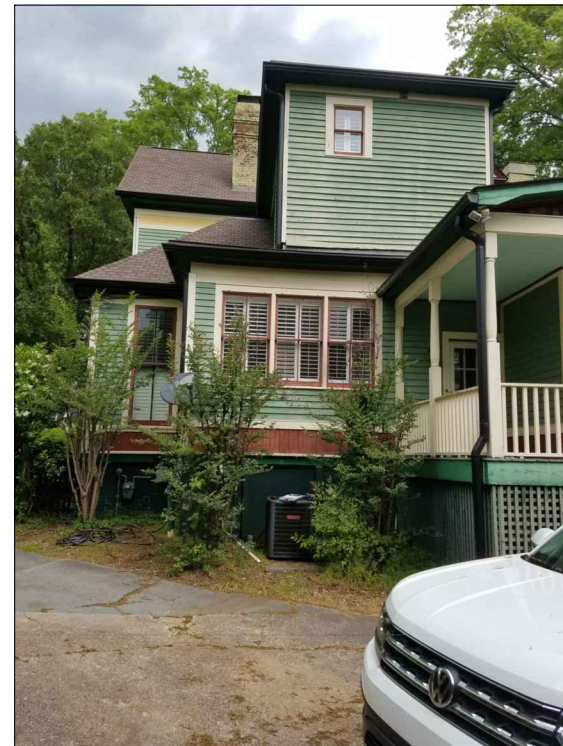
A-4
DETAIL



A



B



C

1 EXISTING REAR ELEVATIONS
 A-5 1/16" = 1'-0"

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RENOVATIONS FOR:
STEPHEN & DANA ROHER
 CONCORD, NC
 113 UNION STREET NORTH
EXISTING REAR ELEVATIONS

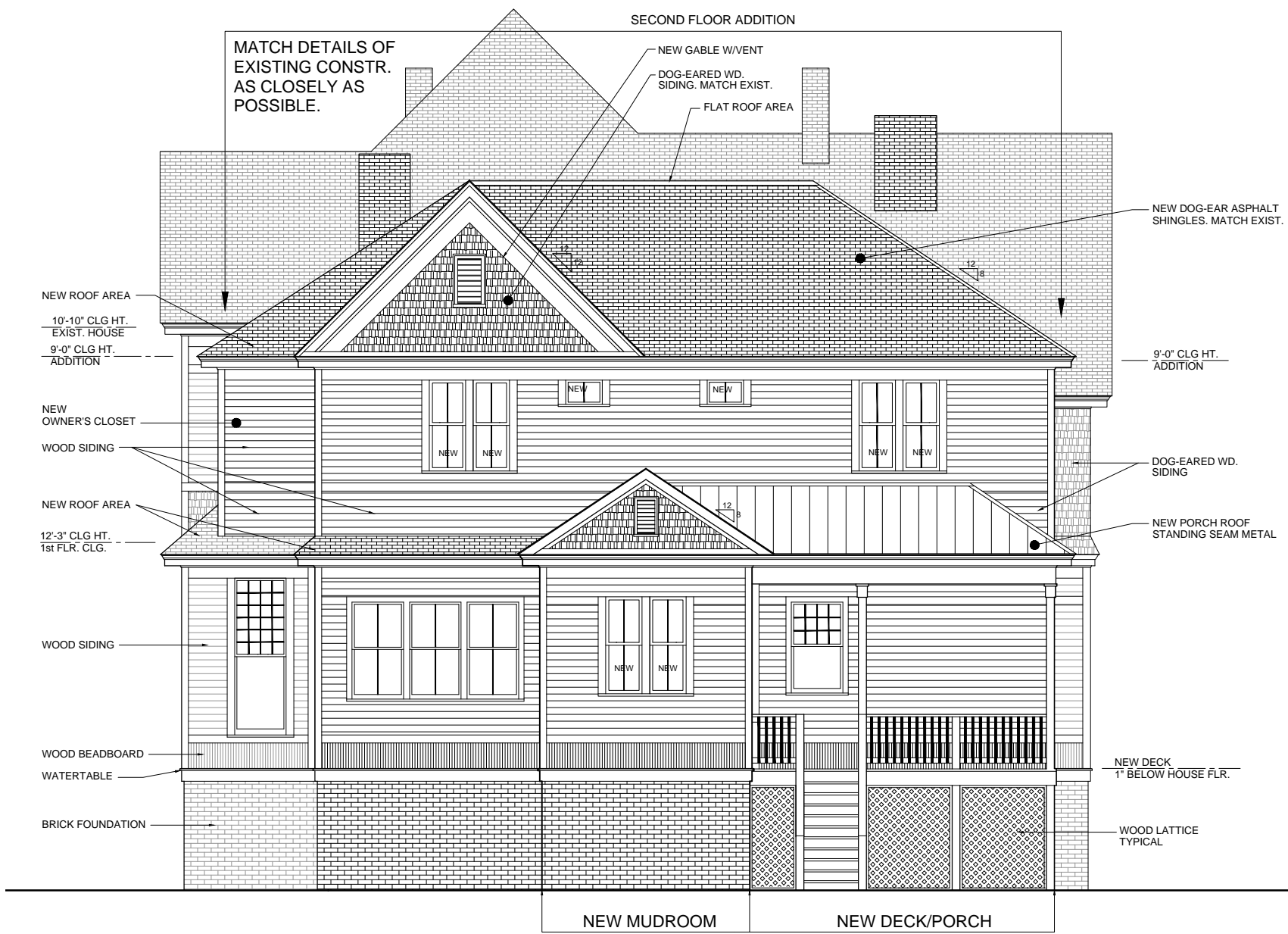
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A-5
 DETAIL

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RENOVATIONS FOR:
STEPHEN & DANA ROHER
 CONCORD, NC
 113 UNION STREET NORTH
PROPOSED REAR ELEVATION

DATE: 07.03.2020

REVISIONS:

DRAWING NUMBER: ROS-A-6
 DRAWN BY: C. J. GLUF
 CHECKED BY: CJG

1
A-6 PROPOSED REAR ELEVATION
 1/8" = 1'-0"

A-6
 DETAIL



A

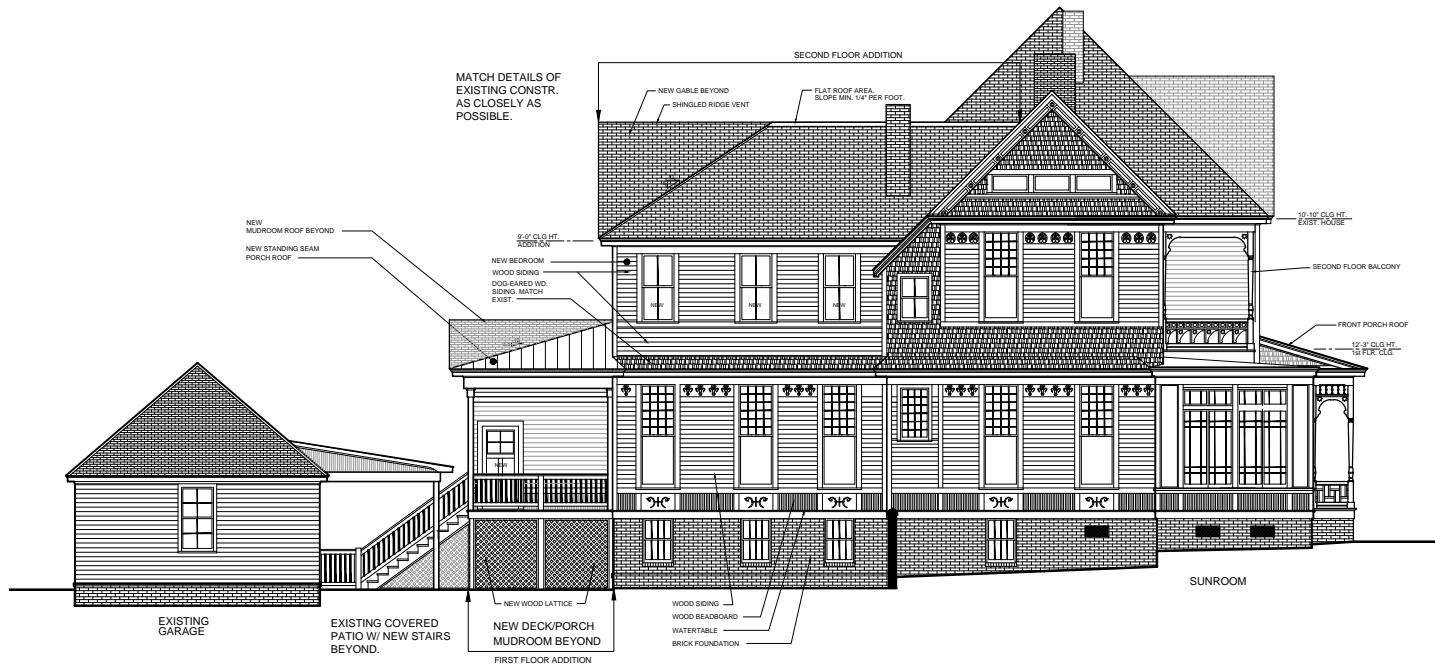


B



C

2 EXISTING STEEL FACING ELEVATIONS
A-7 NO SCALE



1 PROPOSED STEEL FACING ELEVATION
A-7 1/16" = 1'-0"

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RENOVATIONS FOR:
STEPHEN & DANA ROHER
CONCORD, NC
113 UNION STREET NORTH
STEEL FACING ELEVATIONS

PROJECT:
DATE: 07.03.2020
REVISIONS:
DRAWING NUMBER: ROS-A-7
DRAWN BY: C. J. GILFILLIAN
CHECKED BY: CJG

A-7
DETAIL